

Exterior Masonry General Repair Notes:

1. Repoint exg brick and stone masonry where indicated.
2. Replace exg brick with spalled faces where indicated.
3. Replace exg brick with stone masonry to match exg where indicated.
4. Remove all exposed nails, pins, bars, hangers, straps, conduit, wires, cables, meter boxes, wd mounting plates, etc. from exg masonry & repoint.
5. Repoint all stone sills.
6. Repair limestone; patch to original shape/surface.

Legend

- ◆ Approximate number of exg bricks in area to replace
- 6 sf Approximate location and area of exg brick to be repointed
- 10 sf Approximate location and area of exg stone foundation to be repointed

Window General Repair & Painting Notes

1. Contractor is responsible for abatement in accordance with all New York State laws and regulations. Refer to "Lead-Based Paint Survey Report," included in specifications.
2. All exg wd windows are part of this project.
3. When sash is removed for repairs provide temporary secure, weathertight enclosure.

Upper Cornice General Repair Notes

- Replace all missing Cornice moldings.
- Secure all unsecured Cornice components.
- Paint all.
- Inspect with Architect the general condition of wood and metal ledge cap.

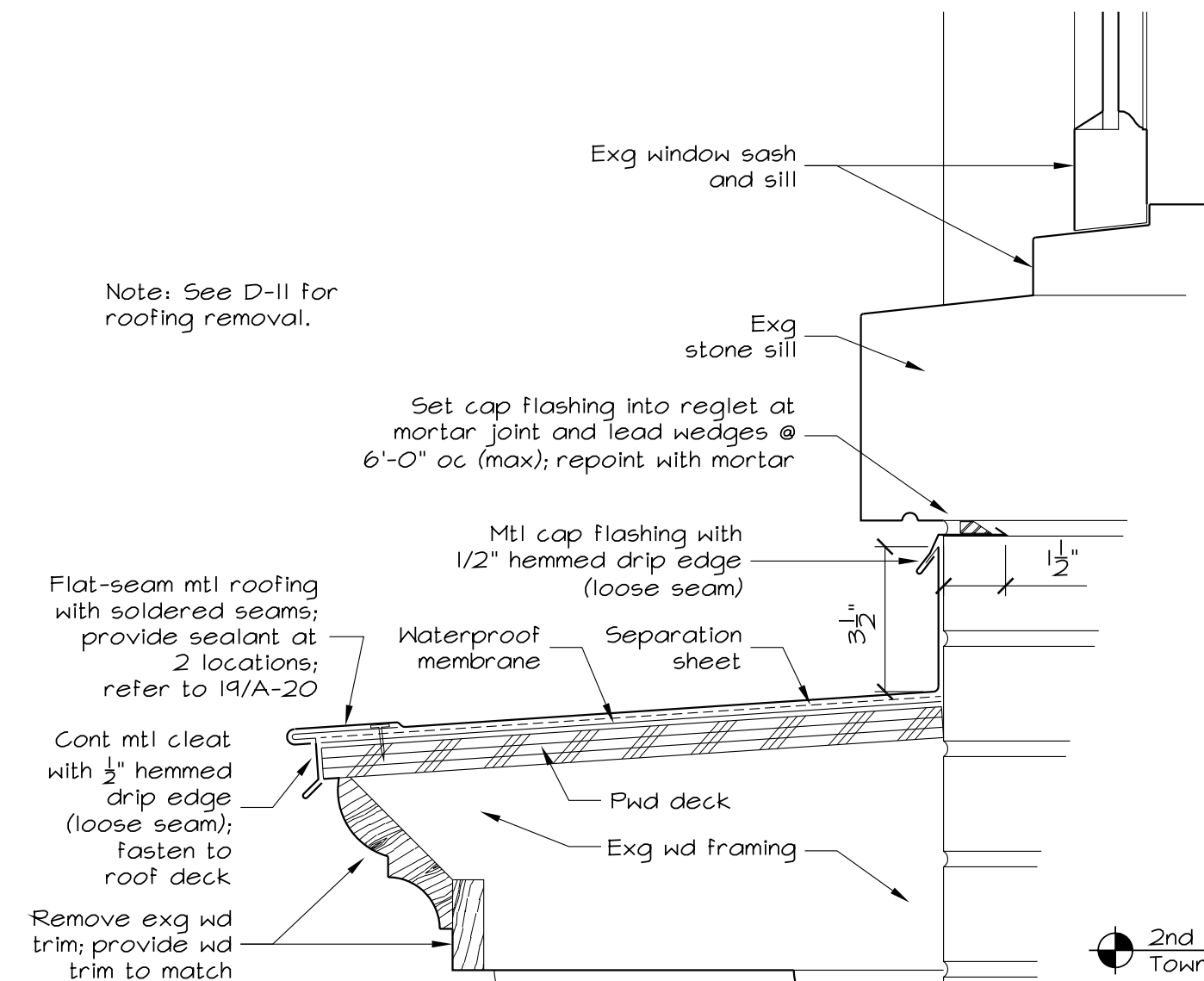
Upper Cornice Repair Notes:

- ① Tighten joints by carefully removing applied trims and reinstalling.
- ② Replace (2) missing medallions.
- ③ Replace south end block. Match North end block in dimensions and details. Salvage and reuse sound components of original end block.

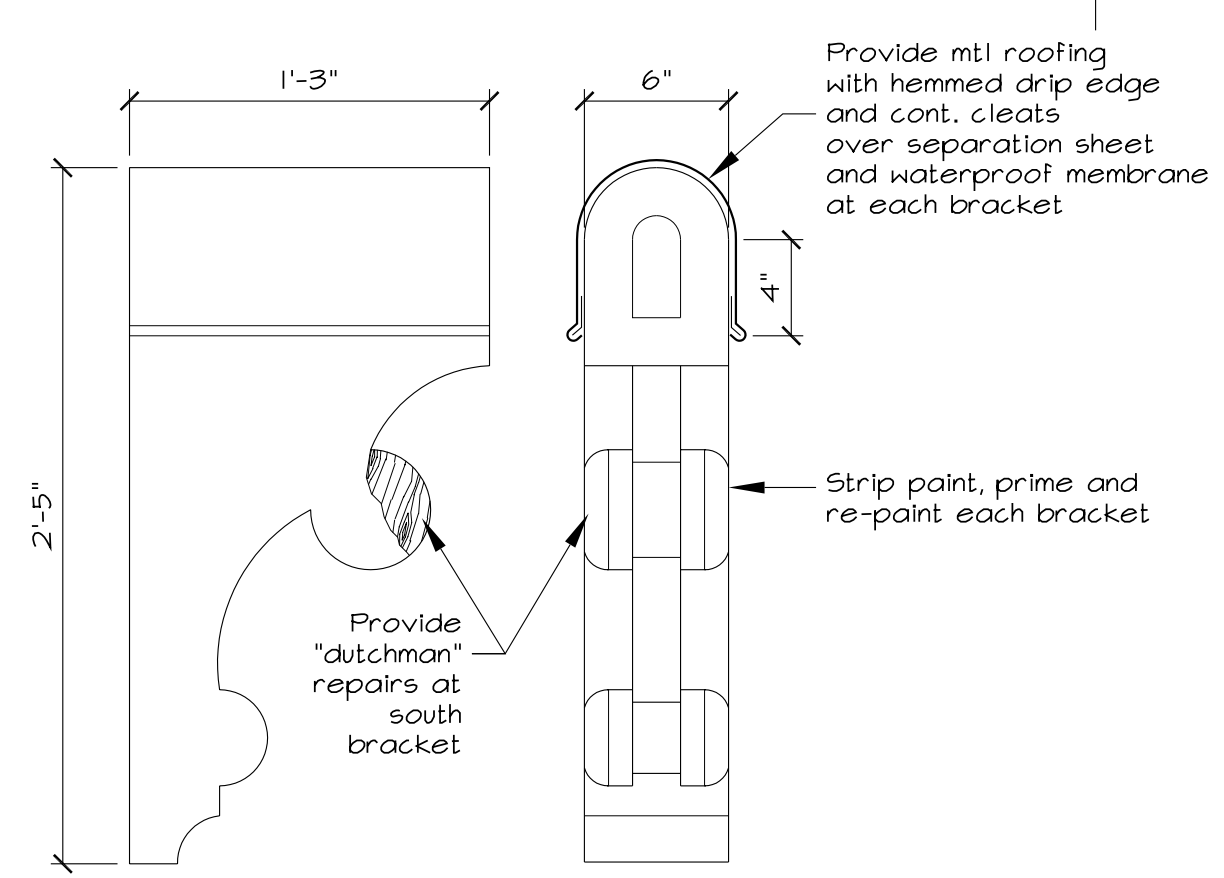
State Bank Pediment Notes:

1. Salvage upper pediment.
2. Secure lower pediment to existing blocking.
3. Replace lower pediment roofing & flashing w/metal. Tuck flashing into exist reglet. Refer to photograph 1 of ???.
4. Reinstall upper pediment.

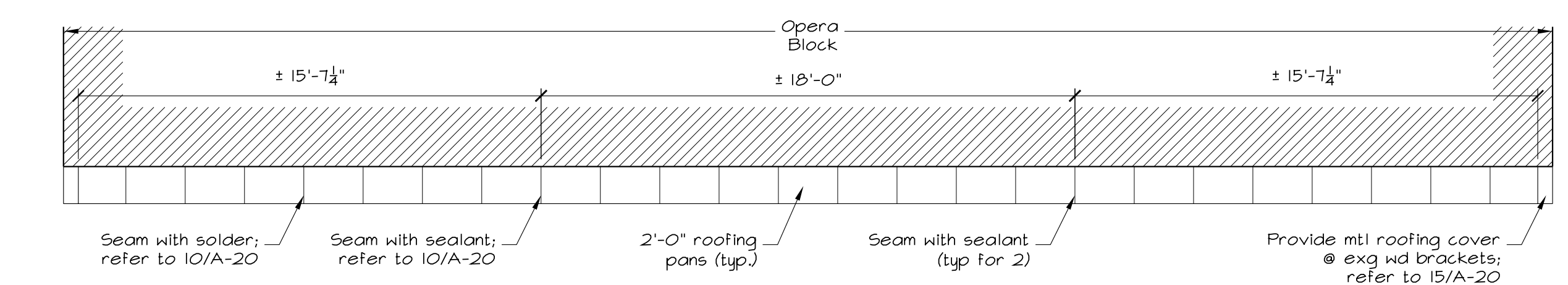
Provide pnt wood lettering (style to match exg; ± 9" high.)



Detail - Storefront Cornice Flashing
10 A-20 3" = 1' - 0"



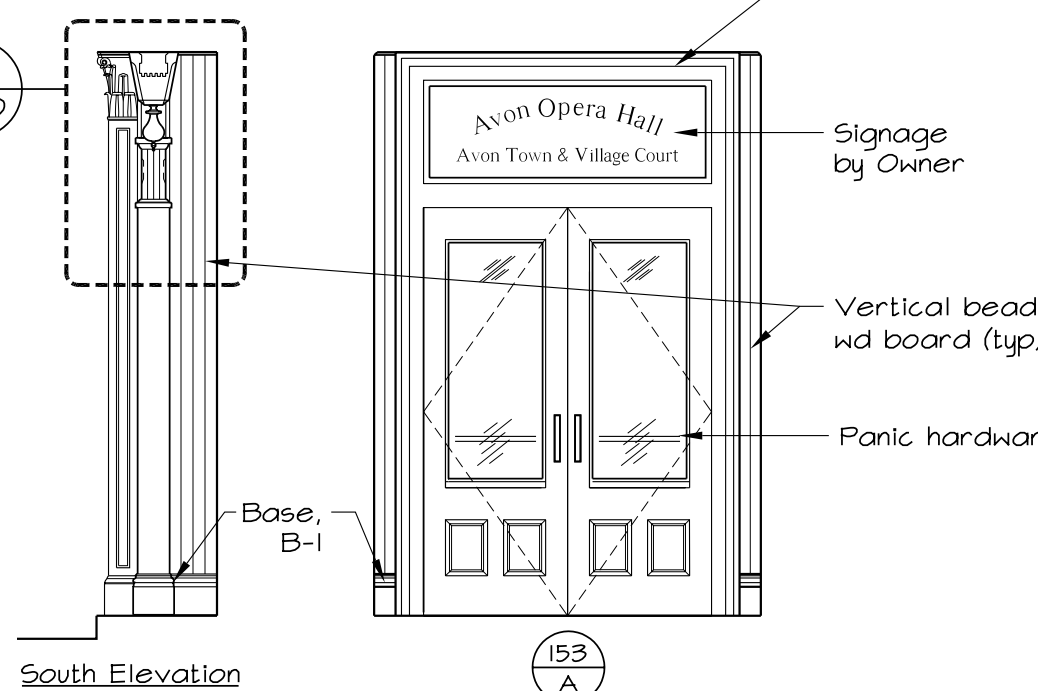
Detail - Storefront Cornice End Block
15 A-20 1 1/2" = 1' - 0"



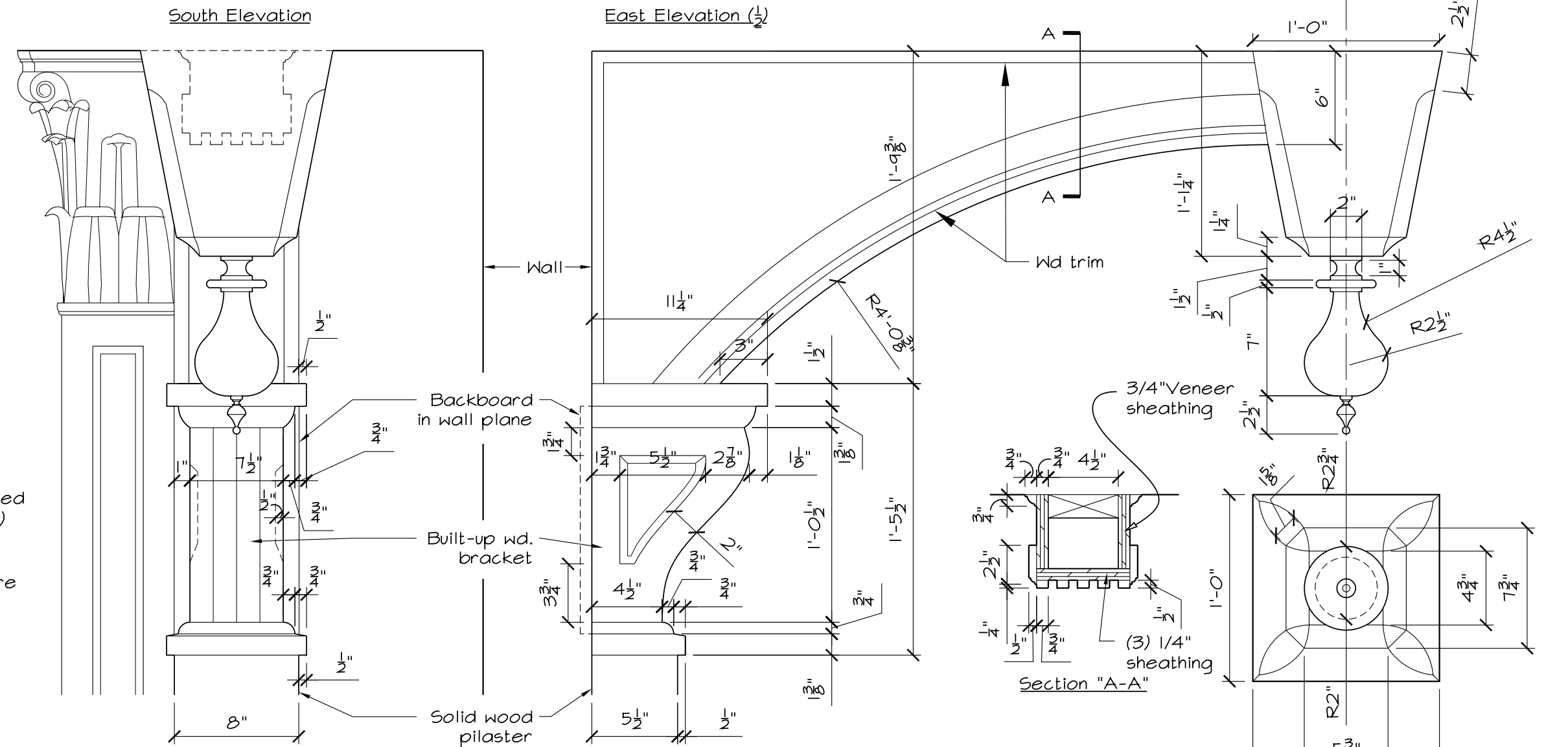
Opera Block - Storefront Cornice Roof Plan
19 A-20 1/4" = 1' - 0"



East Elevation
1 A-20 1/4" = 1' - 0"



Vestibule Elevation @ Door 153/A
18 A-20 1/4" = 1' - 0"



Details - Arch @ Door 153/A
16 A-20 1/2" = 1' - 0"

WARNING:
For Architectural Drawings, it is the responsibility of the user to verify the accuracy of the information provided. The user shall be responsible for any errors or omissions in the drawings and for any consequences resulting therefrom. The user shall indemnify and hold the architect harmless from any and all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of the drawings, whether or not such claims, damages, and expenses are caused in whole or in part by the negligence of the architect.

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PROJECT TITLE:
Rehabilitation of 25 Genesee St.
(Avon Opera Block)
& Renovation of 27 Genesee Street

CLIENT / OWNER:
Town of Avon
27 Genesee Street
Avon, NY 14414

SHEET TITLE:
East Elevation,
General Repair Notes,
and Details

SHEET NUMBER/DATE:
A-20
7/24/08

PROJECT NO.
05122.00